

Blatchworthy

Area: Blatchworthy

Site Reference and Name: C/BLA/01 Land at Blatchworthy Farm

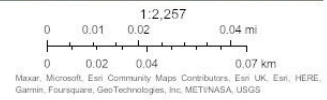
Customer Reference Number: iu13khe

C/BLA/01



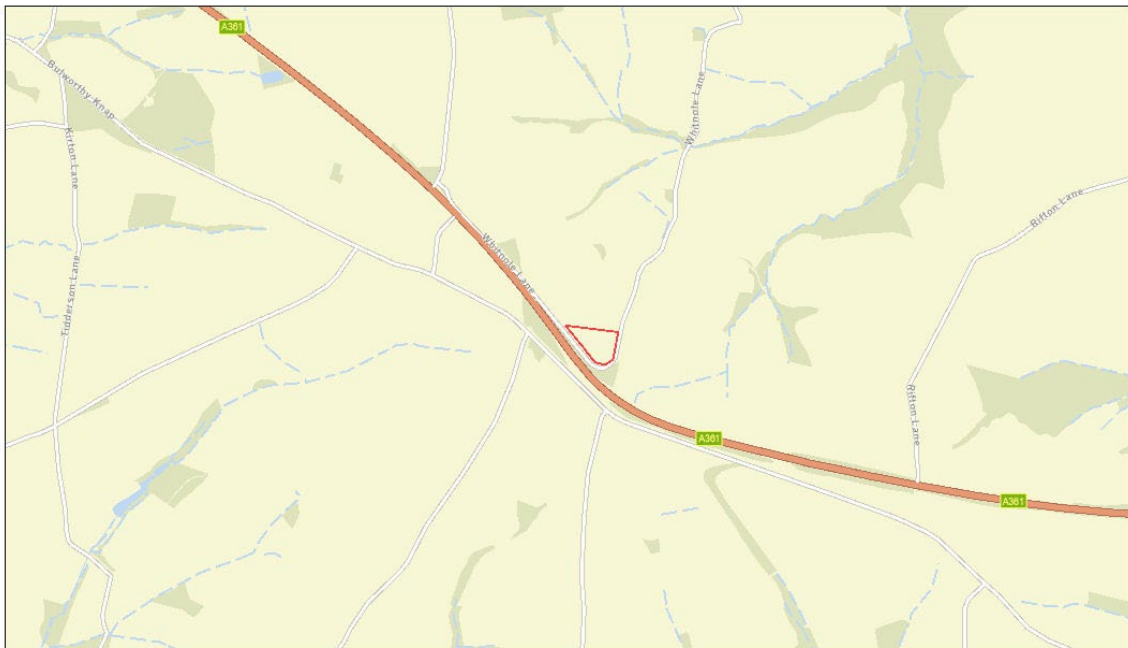
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 Call For Sites Layer




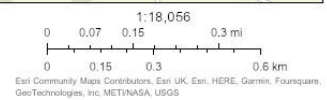
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C/BLA/01



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 Call For Sites Layer



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Parish: Stoodleigh

Site submitted for: C/BLA/01a Homes for sale, affordable homes. C/BLA/01b Industrial/Warehouse, mixed use

Site description: Greenfield very gently sloping (2.5% slope percentage) agricultural land located away from existing settlements. Site is bordered by hedges and trees with Whitnole Lane wrapping around the site to the W, S and E. The A361 lies almost adjacent to the site to the W. The North Devon Biosphere Transition Zone lies approx. 700m W. The Blatchworthy County Wildlife Site (CWS) falls 460m NE downslope to the site with a watercourse running through the site leading to this CWS. This site has one landowner. The HELAA Panel assessed this site as unachievable for housing or commercial uses due to the range of constraints and its isolated location and access.

C/BLA/01a Homes for sale, affordable homes

Site Area: Whole 0.92ha | Gross 0.92ha | Net 0.74ha

Max Yield: 26

Min Yield: 15

HELAA Assessed Yield: None

Site Suitability

Stage A

International/national designations: UNESCO North Devon Biosphere Transition Zone approx. 700m W.

Flood Zone 3b: None

Stage B

Land Status: Greenfield agricultural land.

Access: Devon County Council Highways identifies that land is accessed off a narrow lane with no street lighting or footways. Access roads should be at least 4.8m wide to permit 2-way traffic unless separate entrance and exit access routes can be achieved. Roads narrower than 4.8m require passing places. Pedestrian/cycleway connection to services and bus stops would be required. Because of the comments above DCC Highways suggest that this site would not be recommended for development due to lack of accessibility for non-motorised users. There are no PRowS within the site, the closest is 1 km to the E. The closest bus stop is in Tiverton approx. 8 km SE. The closest train station is Tiverton Parkway, approx. 16.6 km E. The closest services and facilities are at Rackenford 4km W and Tiverton 4.8km E.

Natural Environment: There are legally protected species on site (badger) with protected species (bats) just off the site to the N. The North Devon Biosphere Transition Zone lies approx. 700m W. Priority Habitats approx. 480 m NE, 450m S and 640m W. Beavers are present in catchment. Devon County ecology specialists identify the Blatchworthy County Wildlife Site (CWS) is situated close by

(approx. 460m NE) and, crucially, downslope of the site with a small watercourse passing through it. The habitats for which the site is designated are semi-aquatic and therefore are sensitive to water pollution, there is potential for hydrological pollution during construction stage. The site is one field dominated by improved species-poor pasture bordered by hedges, bramble scrub and lines of shelterbelt trees along the eastern and western boundaries. The surrounding hedges/trees could support protected and priority species such as dormice, reptiles, hedgehogs and act as flight lines. The hedges may provide bat foraging habitat. Impact of development on site could include direct loss of habitat and urban impacts (lighting, noise, cat predation, dogs etc) on habitats and species. Site is of low strategic ecological importance. Further site visit may be required to check ecological value of grassland habitat in spring/summer. Mitigation suggested include pollution controls to limit impacts to nearby CWS, protecting and enhancing hedges, trees and dark corridors. Licences and compensation may be required if offences cannot be avoided. Biodiversity net gain requirements to be met onsite/offsite.

Flood Risk, Water Quality and Drainage: FZ1. High groundwater vulnerability and within drinking water safeguarding zone (surface water) and an unnamed watercourse within the site. The NPPF must be adhered to and the sequential and exception tests used where necessary. Any alterations or works within the unnamed watercourses must be discussed with DCC Flood Risk Management and Land Drainage Consent requested and approved where necessary. As outlined in DCC's sustainable drainage guidance, at planning stage a thorough assessment of the groundwater risk needs to be undertaken. Any development will need to consider the existing surface water flow as part of the design.

Heritage and Archaeology: Devon County Council archaeology specialists identify that there is some potential for prehistoric settlement evidence base on artefact scatters in this area. Evaluation required as part of a staged programme of recording to inform further mitigation. MDDC Conservation Officer note that there are no heritage assets impacted.

Education Infrastructure: The closest schools to the site are Rackenford Church of England Primary School and Tiverton High School. DCC education have noted that the site feeds into Rackenford C of E Primary which cannot be easily expanded by has some latent capacity to support development. Housing development will result in an increase to home to school transport to Tiverton High School and Rackenford Primary School with no safe walking/cycling.

Landscape: Exmoor National Park lies 9.7 km. N of the site. The site falls within the Upper farmed and wooded valley slopes with the Southern part designated as Farmed lowland moorland and Culm grassland landscape character types. The Devon landscape character area is the Cruwys Morchard Wooded and Farmed Valleys. The site has a medium sensitivity to housing development of limited height (1-2 storey). The site has a medium to large scale field pattern surrounded by hedgerows and trees and is at the top of a slope with views to the N. The site may be locally valued for its intrinsic rural character, beauty and tranquillity.

Health and Safety related constraints: Proximity to A361, as site lies almost adjacent. Possible noise and pollution impacts. An 11KV electric overhead line crosses the site.

Soils and contamination: Grade 3 agricultural land (DEFRA 2020 Provisional Land Classification Grade). Site does not fall within a MCA, MSA or WCZ.

Topography: Very gently sloping (2.5% slope percentage).

Open Space and Recreation: There are no nearby areas of open space and recreation with the closest provided in Tiverton approx. 4.8 km SE and Rackenford 4 km NW.

Potential Constraints to Delivery: Access. Potential impact on CWS. Access to education infrastructure. Flood risk, water quality and drainage. Potential Grade 3a ALC. Potential landscape impact. Adjacent A361 potential for noise and pollution. Legally protected species on site. 11KV electric overhead line

Site Availability: The promoter has confirmed the site will be available for development within the next 5 years.

Build out rate: As the HELAA Panel suggest the site is unachievable there is no suggested build out rate.

C/BLA/01b Industrial/Warehouse, mixed use.**Site Area:** Whole 0.92ha | Gross 0.92ha | Net 0.23-0.74ha**Max Yield:** 7,360 sqm**Min Yield:** 2,300 sqm**HELAA Assessed Yield:** None**Site Suitability****Stage A****International/national designations:** UNESCO North Devon Biosphere transition zone approx. 700m W.**Flood Zone 3b:** None**Stage B****Land Status:** Greenfield agricultural land.**Access:** Devon County Council Highways identifies that land is accessed off a narrow lane with no street lighting or footways. Access roads should be at least 4.8m wide to permit 2-way traffic unless separate entrance and exit access routes can be achieved. Roads narrower than 4.8m require passing places. Pedestrian/Cycleway connection to services and bus stops would be required. Because of the comments above DCC Highways suggest that this site would not be recommended for development due to lack of accessibility for non-motorised users. There are no PRowS within the site, the closest is 0.6 mi to the E. The closest bus stop is in Tiverton approx. 8 km SE. The closest train station is Tiverton Parkway, approx. 16.6 km E. The closest services and facilities are at Rackenford 4 km NW and Tiverton 4.8 km E.**Natural Environment:** There are Legally protected species on site (badger) with protected species (bats) just off the site to the N. The North Devon Biosphere Transition Zone lies approx. 700m W. Priority Habitats approx. 800 m. NE, S and W. Beavers are present in catchment. Devon County ecology specialists identify the Blatchworthy County Wildlife Site (CWS) is situated close by (460m NE) and, crucially, downslope of the site with a small watercourse passing through it. The habitats for which the site is designated are semi-aquatic and therefore are sensitive to water pollution, there is potential for hydrological pollution during construction stage. The site is one field dominated by improved species-poor pasture bordered by hedges, bramble scrub and lines of shelterbelt trees along the eastern and western boundaries. The surrounding hedges/trees could support protected and priority species such as dormice, reptiles, hedgehogs and act as flight lines. The hedges may provide bat foraging habitat. Impact of development on site could include direct loss of habitat and urban impacts (lighting, noise, cat predation, dogs etc) on habitats and species. Site is of low strategic ecological importance. Further site visit may be required to check ecological value of grassland habitat in spring/summer. Mitigation suggested include pollution controls to limit impacts to nearby CWS, protecting and enhancing hedges, trees and dark corridors. Licences and compensation may be required if offences cannot be avoided. Biodiversity net gain requirements to be met onsite/offsite.

Flood Risk, Water Quality and Drainage: FZ1. High groundwater vulnerability and within drinking water safeguarding zone (surface water) and an unnamed watercourse within the site. The NPPF must be adhered to and the sequential and exception tests used where necessary. Any alterations or works within the unnamed watercourses must be discussed with DCC Flood Risk Management and Land Drainage Consent requested and approved where necessary. As outlined in DCC's sustainable drainage guidance, at planning stage a thorough assessment of the groundwater risk needs to be undertaken. Any development will need to consider the existing surface water flow as part of the design.

Heritage and Archaeology: Devon County Council archaeology specialists identify that there is some potential for prehistoric settlement evidence base on artefact scatters in this area. Evaluation required as part of a staged programme of recording to inform further mitigation. MDDC Conservation Officer note that there are no heritage assets impacted.

Landscape: Exmoor National Park lies 9.7 km. N of the site. The site falls within the Upper farmed and wooded valley slopes with the Southern part designated as Farmed lowland moorland and Culm grassland landscape character types. The Devon landscape character area is the Cruwys Morchard Wooded and Farmed Valleys. The site has a high – medium sensitivity to commercial development due to potential for larger buildings in a remote location, affecting valued views. The site has a medium to large scale field pattern surrounded by hedgerows and trees and is at the top of a slope with views to the N. The site may be locally valued for its intrinsic rural character, beauty and tranquillity.

Health and Safety related constraints: Proximity to A361, as site lies adjacent. Possible noise and pollution impacts due to proximity. An 11KV electric overhead line crosses the site.

Soils and contamination: Grade 3 agricultural land (DEFRA 2020 Provisional Land Classification Grade). Site does not fall within a MCA, MSA or WCZ.

Topography: Very gently sloping (2.5% slope percentage).

Open Space and Recreation: There are no nearby areas of open space and recreation with the closest provided in Tiverton approx. 4.8 km SE and Rackenford 4 km NW.

Economic Development: Site is close to North Devon Link Road but it is very rural, not related to any settlement.

Potential Constraints to Delivery: Access. Potential impact on CWS. Access to education infrastructure. Flood risk, water quality and drainage. Potential Grade 3a ALC. Potential landscape impact. Adjacent A361 potential for noise and pollution. Legally protected species on site. 11KV electric overhead line.

Site Availability: The promoter has confirmed the site will be available for development within the next 5 years.

Build out rate: The promoter has confirmed the site is available within the next 5 years however as the HELAA Panel suggest the site would be unachievable for commercial use there is no suggested build out rate. For the purposes of this report 'mixed use' is considered as commercial.